

6176 Federal Blvd., San Diego, CA 92114

CONDITIONAL USE PERMIT

Medical Marijuana Consumer Cooperative

Court's Ex. **026**

Case # **37-2017-00010073-CU-BC-CTL**

Rec'd \_\_\_\_\_

Dept. **C-73** Clk. \_\_\_\_\_

TECHNE  
DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
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o 619-610-5814 m 313-656-5814

CONSULTANTS



Federal Blvd. MMCC  
6176 Federal Blvd.  
San Diego, CA 92114

OWNER

Rebecca Berry

STORM WATER QUALITY NOTES -  
CONSTRUCTION BMPs

This project shall comply with all requirements of the permit: California regional water quality control board, San Diego region, order no. 2001.01 NPDES no. Cas010875 ([http://www.wateboards.ca.gov/sandiego/water\\_issues/programs/stormwater/sd\\_stormwater.shtml](http://www.wateboards.ca.gov/sandiego/water_issues/programs/stormwater/sd_stormwater.shtml)) and the City of San Diego Land Development Code (<http://www.sandiego.gov/development-services/industry/landdevcode.shtml>)

Notes 1-6 below represent key minimum requirements for construction BMPs

1. Sufficient BMPs must be installed to prevent silt, mud, or other construction debris from being tracked into the adjacent street(s) or storm water conveyance system due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMPs.
2. All stock piles of uncompacted soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
4. All erosion/sediment control devices shall be maintained in working order at all times.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS:	3452 Hancock St San Diego, CA 92114
ASSESSORS PARCEL NUMBER:	543 029 02 00
LEGAL DESCRIPTION:	Tract No. 2 Map Red. 001100. CITY: SAN DIEGO, SUBD: ENCANTO HEIGHTS TR#2 00100 BLK 25* LOT 20 PER MAP 2321 IN* City/Muni/Tract: SAN DIEGO
YEAR BUILT:	1981
EXISTING OCCUPANCY CLASSIFICATION:	D Business
PROPOSED OCCUPANCY CLASSIFICATION:	Office
EXISTING USE:	Office
PROPOSED USE:	Medical Marijuana Consumer Cooperative
CONSTRUCTION TYPE:	TYPE VB - Sprinklered
NUMBER OF STORIES:	1
BUILDING HEIGHT:	13'
LOT AREA (existing):	6,043.3 sf 0.14 ACRES
LOT AREA (existing):	5,689.8 sf 0.13 ACRES
GROSS FLOOR AREA (Existing):	2,086.9 sf
GROSS FLOOR AREA (Proposed):	3,655.0 sf

ZONING INFORMATION

BASE ZONE:	CO-2-I
Overlay Zones:	
NUMBER OF BUILDINGS:	1
SETBACKS:	
FRONT:	10'-0" (min) 25'-0" (max)
STREET:	10'-0" (min) 25'-0" (max)
SIDE:	10'-0" (min) 0'-0" (optional)
REAR:	10'-0" (min) 0'-0" (optional)
MAX. STRUCTURE HEIGHT:	45'
MAXIMUM FLOOR AREA RATIO:	0.8 4,534 sf
PROPOSED FLOOR AREA RATIO:	0.9 3,955.0 sf
REQUIRED PARKING SPACES:	9 Medical, Dental and Health Practitioners; 4.0 parking spaces per 1,000sf
PROPOSED PARKING SPACES:	11 Includes 1 van accessible space

SCOPE OF WORK	PROJECT TEAM
This project consists of: <ul style="list-style-type: none"><li>• Construction of new single-story commercial building.</li><li>• Site Improvements including parking, lighting and landscaping</li><li>• Irrevocable Offer of Dedication</li></ul>	<b>OWNER:</b> Darryl Cotton <b>TENANT / APPLICANT:</b> Rebecca Berry 5982 Gullstrand Street San Diego, CA 92122 <b>DESIGN FIRM:</b> TECHNE Project Contact: Abhay Schweitzer - Assoc. AIA 3956 30th Street, San Diego, CA 92104 Phone #: 619-940-5814 email: abhay@techn-us.com <b>ARCHITECT OF RECORD:</b> Michael Renee Morton AIA CA License - C-19371 <b>SURVEYOR:</b> Lundstrom Engineering
APPLICABLE CODES	<ul style="list-style-type: none"><li>• City of San Diego Municipal Code</li><li>• 2013 California Building Code</li><li>• 2013 California Green Code</li><li>• 2013 California Plumbing Code</li><li>• 2013 California Electrical Code</li><li>• 2013 California Mechanical Code</li></ul>

SHEET INDEX

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0002	Site Plan
0003	Topographic Survey
0004	Site Plan - Existing
0005	Topographic Map of Site
0006	Site Plan - Proposed
0007	Site Plan - (SEPARATION FROM RES. ZONE)
0008	First Floor Plan - Existing
0009	First Floor Plan - Proposed
0010	First Floor Plan - Proposed
0011	Second Floor Plan - Proposed
0012	Lighting Plan - Proposed
0013	Roof Plan - Proposed
0014	Foundation Details - Proposed

MARK DATE DESCRIPTION

11	10/26/16	CUR Completeness Review
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PROJECT NO. 1026

CAD DWG FILE: 1026-001.dwg

DRAWN BY: AS,JS

CHECKED BY: AS,MM

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SHEET TITLE

COVER SHEET

G001

SHEET 1 OF 14









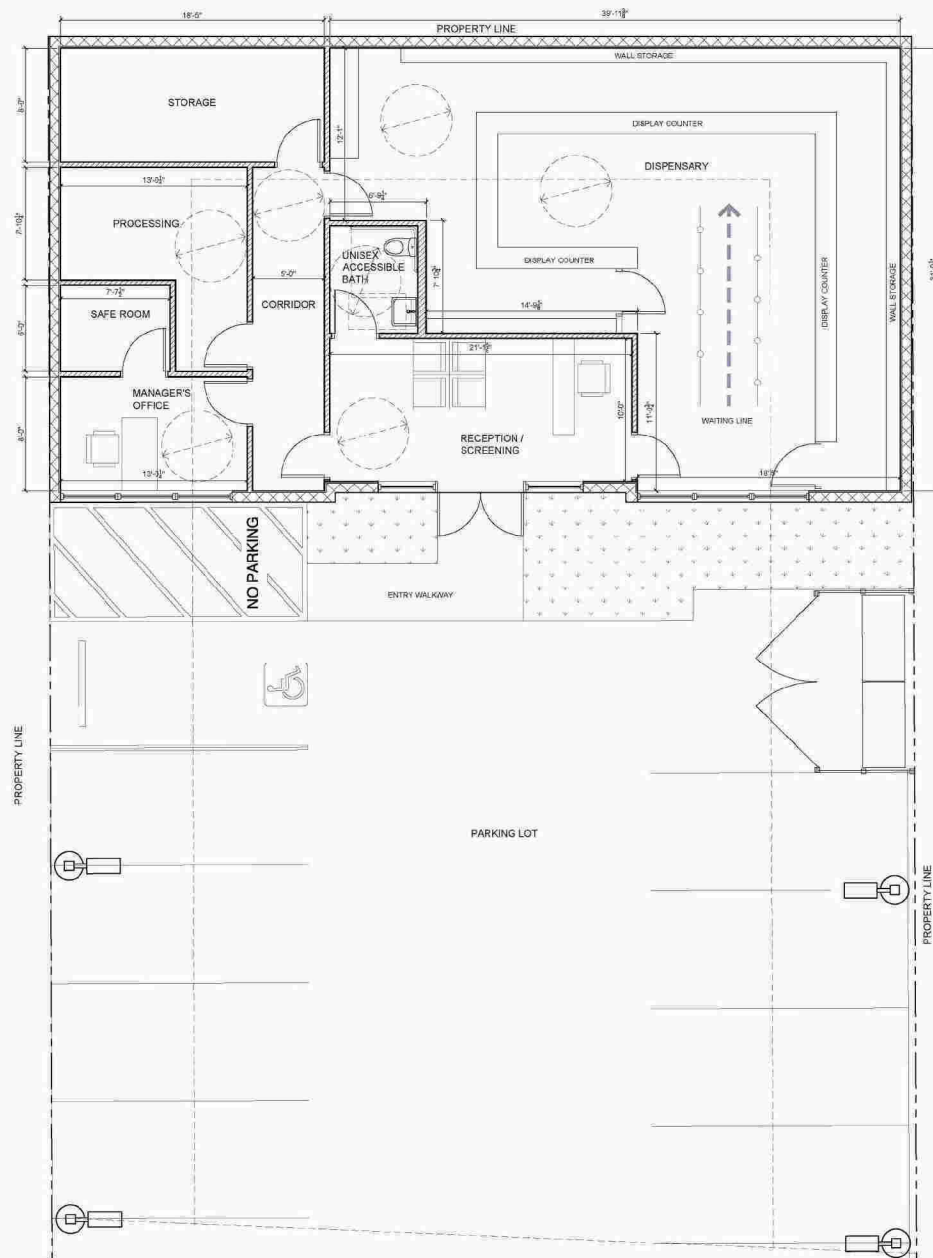












# FLOOR PLAN LEGEND

- PROPOSED WALL: 8" CMU - reinforced, 1 hour fire rated.
- PROPOSED INTERIOR PARTITION WALL: 5/8" metal stud @ 24" O.C. with 1/2" gypsum board on each side.
- WALL OPENING: 80" high u.g. finished with 1/2" gypsum board with square corner.
- PROPOSED DOOR
- PROPOSED WINDOW

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San Diego, CA 92114

OWNER:

Rebecca Berry

RE: 10/28/16 FCBP Completeness Review

MARK DATE DESCRIPTION

PROJECT NO: 1528

CAD DWG FILE: 10/28/16 FCBP Completeness Review

DRAWN BY: AS/LS

CHECKED BY: AS/MM

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SHEET TITLE

**FIRST FLOOR PLAN - PROPOSED**

A105

SHEET 9 OF 13

1 FIRST FLOOR PLAN - PROPOSED

0 2 4 8  
SCALE: 1/4" = 1'-0"



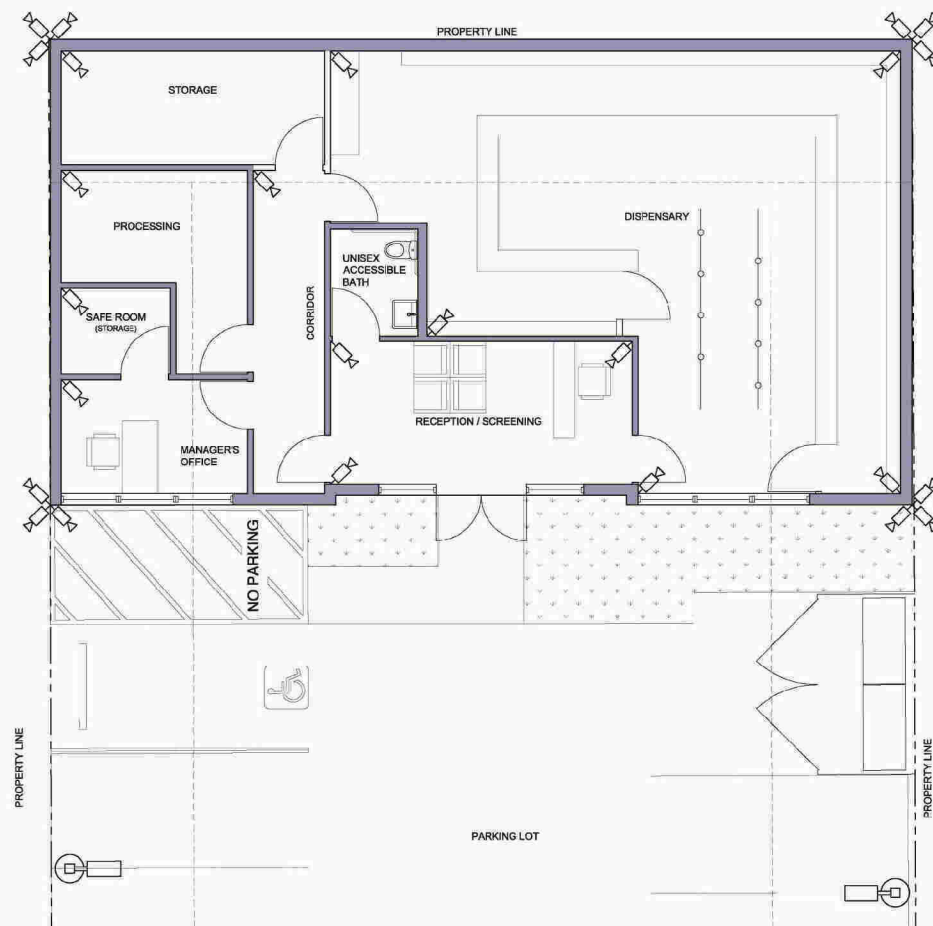


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OWNER

Rebecca Berry



1 LIGHTING PLAN - PROPOSED  
10'-110'

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

LIGHTING PLAN NOTES

- The locations of switches, outlets, and light fixtures shown on electrical plans are approximate. Do not run wire until all boxes are in place and the owner or TECHNE has been called to make close review of all locations.
- Verify all electrical requirements for new work and provide service as necessary. All new electrical wiring and installation shall comply with the latest adopted edition of the N.E.C., state and local requirements.
- Receptacles, switches, dimmers, and other lighting controls shall be "Decora" type. Receptacles, wall plates and other related receptacles such as telephone jacks, GFCI receptacles and cable outlets shall be "Decora" type. Color of items shall be "White" unless otherwise noted.
- Living Rooms, Family Rooms, Bedrooms, Dens, Home Offices, and Hallways, shall have manual on occupancy sensors or dimmer switches with lighting fixtures or fluorescent lighting fixtures. (unless "Decora" Manual - On Occupancy Sensor - PPSD 31 or other).
- Bedrooms, Utility Rooms, Laundry rooms and Garages shall have occupancy sensors or fluorescent lighting fixtures. (unless "Decora" Manual - On Occupancy Sensor - PPSD 31 or other).
- Kitchens shall have 50% for more of the wattage used for lighting be from high efficacy light fixtures. Incandescent lighting shall be switched separately and/or have dimmer switches.
- Exterior light fixtures attached to building shall be fluorescent light fixtures or incandescent lighting equipped with photo/motion sensor.
- All electric switchgear and control gear shall be located 42 inches above the finish floor. All outlet receptacles shall be 15 inches above finish floor, unless noted otherwise. Verify locations for horizontally mounted outlets (unless "horizontal" on plans). Multiple switches shall be grouped together, unless noted otherwise.
- Mounting heights for light fixtures shown on plans are from finish floor or finished to be confirmed at junction box, unless noted otherwise. Also, refer to exterior and interior elevations for additional information regarding fixture-mounting heights.
- Convenience outlets in bathrooms, bedrooms, and for use in laundry rooms, nurseries, basements and garages shall be Ground Fault Circuit Interrupter (GFCI) type outlets. (NEC 210.8)
- Convenience outlets in bedrooms shall be protected with Arc Fault Circuit Interrupter (AFCI) type outlets. (NEC 210.12)
- Electrical outlet plate covers shall be installed on receptacles, switches or other electrical boxes in exterior walls and any walls on perimeter of conditioned space.
- Verify electrical requirements for new appliances and mechanical equipment prior to running wire. See Appliances Schedule and floor plans for equipment.
- All electrical panels shall have permanent legible labels indicating circuit use, equipment, etc.
- Owner supplied fixtures shall be installed by contractor.
- Verify with owner that number of telephone lines to be provided to residences, the wire for cable TV and telephone per plans, verify size and shielding requirements for TV cable. Verify locations of telephone, cable and computer outlets with owner prior to installation.
- Verify with owner any electrical load shall be for electric.
- Verify with owner and coordinate installation requirements of sound system and speaker wire for sound system. System and wiring are not in contract unless specified in bid.)
- Install (or I.L.V.): wall in exterior in each sleeping area and in each room and bathroom. (unless noted otherwise) in all sleeping areas of the unit. See NEC 2013.10.1.1.1.1.
- INTERCONNECTION ACTS: Where more than one smoke alarm is required to be installed, the smoke alarm shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual dwelling unit. The alarm shall be clearly audible in all bedrooms over background noise with all intervening doors closed.
- SMOKE SENSORS: In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarm shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for maintenance protection.
- EXISTING BUILDINGS: Smoke detectors shall be installed for all dwelling units intended for human occupancy, for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000).
- General contractor to verify with the owner and coordinate any electrical requirements for the installation of security system and/or intercom system. (System and wiring not in contract unless specified in bid.)
- Intercom System for calling fire shall be securely fastened to framing per fire manufacturer's instructions.
- Provide Carbon Monoxide Alarms per NEC 2013.10.1.1.1.1.

LIGHTING PLAN LEGEND

⌚	DUPLEX OUTLET @ 18" A.F.F. U.N.O.	⌚	SINGLE POLE SWITCH	⌚	DOOR BELL CHIME
⌚WP	WATER PROOF DUPLEX OUTLET	⌚	3 WAY SWITCH	⌚B	DOOR BELL BUTTON
⌚42	DUPLEX OUTLET @ 42" A.F.F. U.N.O.	⌚	4 WAY SWITCH	⌚GD	GARBAGE DISPOSER AIR GAP SWITCH
⌚PFC	OUTLET W/ ARC FAULT CIRCUIT INTERRUPTER	⌚	DIMMER SWITCH	⌚	ELECTRICAL CIRCUIT
⌚GFC	OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER	⌚	OCCUPANCY SENSOR SWITCH	⌚J	JUNCTION BOX (VOLTAGE AS NOTED)
⌚FO	FOURPLEX OUTLET	⌚	DEDICATED OUTLET CIRCUIT	⌚MS	OUTDOOR MOTION SENSOR
⌚CL	CILING MOUNTED LIGHT	⌚H	HEIGHT TO CENTERLINE A.F.F.	⌚C	CAT 6 OUTLET
⌚W	WALL MOUNTED LIGHT	⌚T	DIGITAL THERMOSTAT	⌚E	EXHAUST FAN (5 air changes per hour)
⌚P	PENDENT LIGHT	⌚	TELEPHONE OUTLET	⌚CC	CLOSED CIRCUIT SECURITY CAMERA
⌚R	LED RECESSED CAN LIGHT	⌚TV	T.V. CABLE OUTLET	⌚X	WALL MOUNTED EXIT SIGN
⌚1X4	1X4 LED PANEL LIGHT FIXTURE	⌚S	SMOKE DETECTOR	⌚FL	WALL MOUNTED FLOOR LIGHT
⌚S	WALL MOUNTED STEP LIGHT	⌚CM	CARBON MONOXIDE DETECTOR		

11	10/28/16	FOR COMPLETION REVIEW
MARK	DATE	DESCRIPTION
PROJECT NO.	1628	
CAD DWG FILE	10/28/16	10/28/16
DRAWN BY	AS:MM	
CHECKED BY	AS:MM	
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SHEET TITLE	LIGHTING PLAN - PROPOSED	
	A108	
SHEET	12	OF 14



0 2' 4' 6'

SCALE: 1/4" = 1'-0"

↑

Diagram illustrating the roof slope indicator and the outline of walls below the roofline.

The diagram shows a horizontal line representing the roof slope, labeled "SLOPE - 1/2\"/>

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SHEET 13 OF 14



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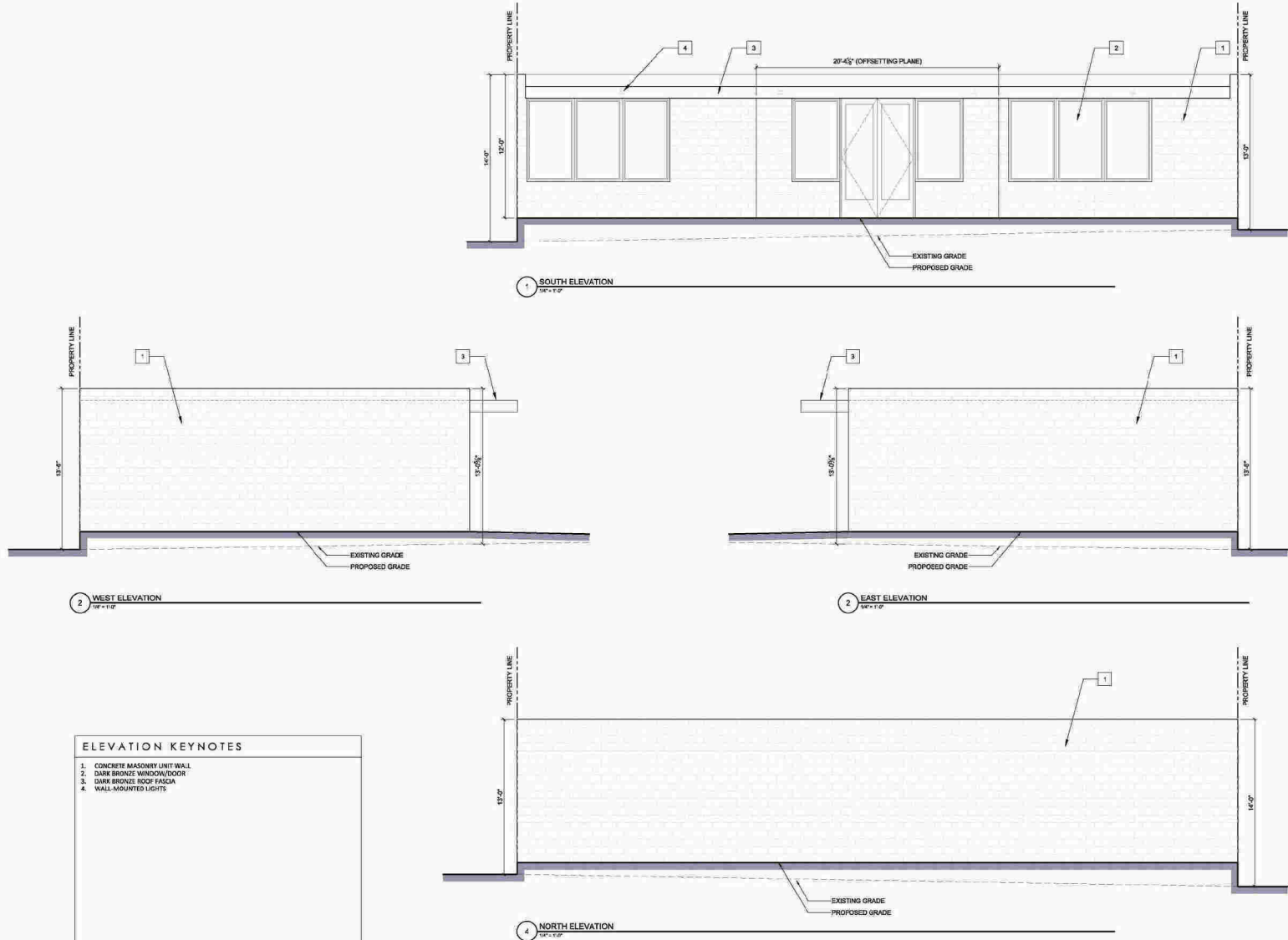
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 San Diego, CA 92114

OWNER

Rebecca Berry



REVISION	DATE	DESCRIPTION
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**BUILDING ELEVATIONS - PROPOSED**  
**A201**

SHEET 14 OF 14