

8863 Balboa Ave., Ste E., San Diego, CA 92123
CONDITIONAL USE PERMIT
Medical Marijuana Consumer Cooperative

TECHNE
DESIGN | DEVELOPMENT

3956 3th Street, San Diego, CA 92104
techno-us.com sustainablearchitect.org
619-940-5814 313-595-5814

CONSULTANTS



8863 Balboa Ave., Suite E
San Diego, CA 92123

OWNER

United Patients Consumer Cooperative
5666 La Jolla Blvd. #115
San Diego, CA 92037

APPROVED EXHIBIT "A"

PROJECT NO. 368347

APPROVAL NO(s). CUP 1296130

APPROVED BY: HEARING OFFICER, PLANNING
COMMISSION, CITY COUNCIL ON 7-9-15

SIGNATURE [Signature]

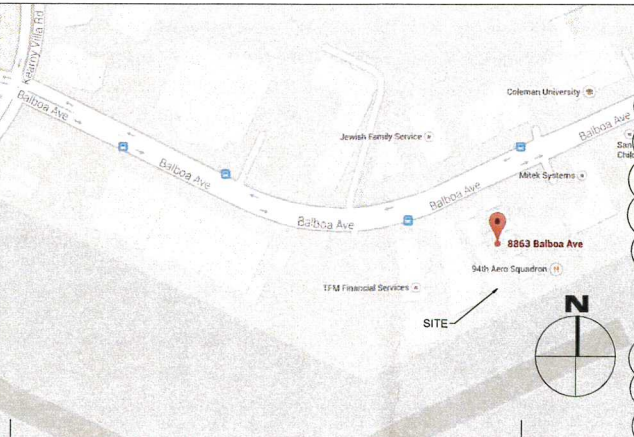
STORM WATER QUALITY NOTES -
CONSTRUCTION BMPs

This project shall comply with all requirements of the permit: California regional water quality control board, San Diego region, order no. 2001.01 NPDES no. Cas010875
(http://www.waterboards.ca.gov/sandiego/water_issues/programs/stormwater/sd_stormwater.shtml)
and the City of San Diego Land Development Code
(<http://www.sandiego.gov/development-services/industry/landdevcode.shtml>)

Notes 1-6 below represent key minimum requirements for construction BMPs

1. Sufficient BMPs must be installed to prevent silt, mud, or other construction debris from being tracked into the adjacent street(s) or storm water conveyance system due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMPs.
2. All stock piles of uncompacted soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
4. All erosion/sediment control devices shall be maintained in working order at all times.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS: 8863 Balboa Ave., Ste E
San Diego, CA 921123
369-150-13-23
ASSESSORS PARCEL NUMBER:
LEGAL DESCRIPTION:
A CONDOMINIUM COMPRISED OF:
PARCEL 1:
AN UNDIVIDED 1/46TH INTEREST IN AND TO THE SOUTHWESTERLY 219.55 FEET OF THE NORTHEASTERLY 413.55 FEET OF LOT 9 OF THE CITY OF SAN DIEGO INDUSTRIAL PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4113, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 12, 1959, EXCEPTING THEREFROM ALL OFFICE UNITS AND INDUSTRIAL UNITS AS SHOWN UPON THAT CERTAIN CONDOMINIUM PLAN RECORDED JULY 31, 1981 AS FILE/PAGE NO. 81-242888 OF OFFICIAL RECORDS, ALSO EXCEPTING THEREFROM THE EXCLUSIVE RIGHT TO USE AND POSSESSION OF THOSE PORTIONS OF SAID LAND DESCRIBED IN PARCEL 3:
PARCEL 2:
UNIT NO. 8863E AS SHOWN ON THE CONDOMINIUM PLAN REFERRED TO IN PARCEL 1 ABOVE.
PARCEL 3:
THE EXCLUSIVE RIGHT TO USE AND POSSESSION OF THOSE PORTIONS OF SAID LAND DESCRIBED IN PARCEL 1 ABOVE, DESIGNATED AS PARKING SPACE NOS. E-32 AND E-31.

YEAR BUILT: 1969
BUILDING CODE:
CALIFORNIA BUILDING CODE (CBC), 2013 EDITION
CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION
CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION
CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION
SAN DIEGO MUNICIPAL CODE

EXISTING OCCUPANCY CLASSIFICATION:
PROPOSED OCCUPANCY CLASSIFICATION:
EXISTING USE:
PROPOSED USE:
CONSTRUCTION TYPE:
NUMBER OF STORIES:
BUILDING HEIGHT:
LOT AREA: 109,507.30 sf 2.51 acres BUSINESS CONDO

GROSS FLOOR AREA (Suite E): 999 sf
GROSS FLOOR AREA (all buildings on site): 39,674.5 sf

ZONING INFORMATION

BASE ZONE: IL-3-1
Overlay Zones:
NUMBER OF BUILDINGS: 1
SETBACKS:
FRONT: 15'-0" (min) 20'-0" (std)
STREET: 15'-0" (min) 20'-0" (std)
SIDE: 10'-0"
REAR: 0'-0" (min) 15'-0" (std)
MAX. STRUCTURE HEIGHT:
MAXIMUM FLOOR AREA RATIO: varies dependent on Safety Zone
ACTUAL FLOOR AREA RATIO: 0.36 for entire Business Condominium
EXISTING PARKING SPACES (Suite E): 2.0 IL-3-1 zone: 5.0 parking spaces per 1,000sf. (existing non-conforming)
REQUIRED/PROPOSED PARKING SPACES (Suite E): 5.0 IL-3-1 zone: 5.0 parking spaces per 1,000sf. (3 spaces provided via Suite B, bldg 8863)
EXISTING PARKING SPACES (All Suites): 100.0 IL-3-1 zone: 5.0 parking spaces per 1,000sf. (existing non-conforming)
REQUIRED PARKING SPACES (All Suites): 198.4 IL-3-1 zone: 5.0 parking spaces per 1,000sf. (existing non-conforming)

SCOPE OF WORK

- This project consists of:
- Tenant Improvement
 - Interior Remodel (non-structural, non-load bearing)
 - Replacement of windows and doors
 - Addition of Solar Panels on existing roof
 - Site Improvements
 - Partial Re-stripping parking lot
 - Exterior lighting and security
 - R&R of two driveways per SDG-159
 - Request for Conditional Use Permit to operate a Medical Marijuana Consumer Cooperative.

APPLICABLE CODES

- City of San Diego Municipal Code
- 2013 California Building Code
- 2013 California Green Code
- 2013 California Plumbing Code
- 2013 California Electrical Code
- 2013 California Mechanical Code

PROJECT TEAM

PROPERTY OWNER:
Maria T. Sandoval
7359 Hyatt St.
San Diego, CA 92111
TENANT / APPLICANT:
United Patients Consumer Cooperative
Contact: Michael D. Sherlock
5666 La Jolla Blvd. #115
San Diego, CA 92037
DESIGN FIRM:
TECHNE
Project Contact: Abhay Schweitzer - Assoc. AIA
3956 30th Street, San Diego, CA 92104
Phone #: 619-940-5814, email: abhay@techno-us.com
ARCHITECT OF RECORD:
Michael Morton AIA
Cell: 619-857-8144
SURVEYOR & CIVIL ENGINEER:
Masson & Associates
Contact: Bruce Tait, PE, QSD/QSP
Office: 760.741.3570 ext. 120
200 E. Washington Ave., Suite 200, Escondido, CA 92025
LEED AP:
Kristi Byers AIA LEED AP BD&C
Phone: 619.599.5984
3956 30th Street, San Diego, CA 92104

SHEET INDEX

#	SHEET NAME
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G002	MMCC NOTES + AREAS
C-1	TOPOGRAPHIC SURVEY
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01	05.13.14	CUP - 1st Submittal
02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK DATE DESCRIPTION

PROJECT NO: 1407
CAD DWG FILE: G001 COVER SHEET.DWG
DRAWN BY: A.S.J.C.
CHK'D BY: A.S.M.M.

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SHEET TITLE

COVER SHEET

G001

SHEET 1 OF 15

PARKING, BUILDING AREAS AND USES				
Building Address	Suite	Area(sf)	Assigned parking spaces	Existing Use
8855	A	606	1	Vacant
	B	606	1	Vacant
	C	606	1	Vacant
	D	606	1	Retail
	E	606	1	Office
	F	606	1	Instructional
	G	606	1	Instructional
	H	606	1	Instructional
Total Bldg. Area		4,848.5		
8859	A	999.3	2	Industrial
	B	999.3	2	Auto Repair
	C	999.3	2	Auto Repair
	D	999.3	2	Industrial
	E	999.3	2	Office
Total Bldg. Area		4,996.5		
8861	A	999.3	2	Industrial
	B	999.3	2	Auto Repair
	C	999.3	2	Industrial
	D	999.3	2	Industrial
	E	999.3	2	Industrial
Total Bldg. Area		4,996.5		
8863	A	999.02	2	Industrial
	B	999.02	2	Auto Repair
	C	999.02	2	Industrial
	D	999.02	2	Auto Repair
	E	999.02	2	Industrial
Total Bldg. Area		4,995.1		
8865	A	606	1	Office
	B	606	1	Office
	C	606	1	Food Service
	D	606	1	Food Service
	E	606	1	Office
	F	606	1	Professional Service
	G	606	1	Vacant
	H	606	1	Office
Total Bldg. Area		4,848.5		
8869	A	999.3	2	Industrial
	B	999.3	2	Boat Repair
	C	999.3	2	Industrial
	D	999.3	2	Industrial
	E	999.3	2	Office
Total Bldg. Area		4,996.5		
8871	A	999.3	2	Retail
	B	999.3	2	Art Gallery
	C	999.3	2	Vacant
	D	999.3	2	Industrial
	E	999.3	2	Vacant
Total Bldg. Area		4,996.5		
8873	A	999.25	2	Industrial
	B	999.25	2	Auto Repair
	C	999.25	2	Auto Repair
	D	999.25	2	Auto Repair
	E	999.25	2	Auto Repair
Total Bldg. Area		4,996.3		
Grand Total Bldg. Areas		39,674.3		
Total Assigned Parking			76	
Total Accessible Parking			4	
Total Non-Assigned Parking			20	
Grand Total Parking			100	

SOUND ATTENUATION NOTES

- The following measures shall be implemented in order for indoor space to achieve a noise level of 50db CNEL.
- A. Exterior solid grouted CMU walls are provided on the south and north of the suite.
- B. Ceiling / roof assembly shall be modified from the inside in order to achieve a STC 50 rating.
- C. All exterior windows, glazed doors and glazed openings shall be provided with a minimum of 1" thick laminated glass assemblies.
- D. All interior partition walls shall be insulated with minimum 3½" thick sound attenuating batt insulation.

MMCC CONDITIONAL USE PERMIT NOTES

- SIGNAGE LIMITATION
1. All signage shall be limited to two colors and typeface.
2. Pole signs are prohibited.
- POSSIBLE FUTURE USES
3. Possible future uses include any use permitted in the IL-3-1 zone.
- CONSULTATION BY MEDICAL PROFESSIONALS
4. Consultations by medical professionals shall not be a permitted accessory use at this medical marijuana consumer cooperative.
- LIGHTING
5. Lighting shall be provided to illuminate the interior of the medical marijuana consumer cooperative, facade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks.
6. All exterior lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
- SECURITY
7. Security shall be provide at the medical marijuana consumer cooperative which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard should only be engaged in activities related to providing security for the facility, except on an incidental basis.
- SIGNAGE
8. Signs shall be posted on the outside of the medical marijuana consumer cooperative and shall only contain the name of the business, limited to two colors.
- EMERGENCY CONTACT
9. The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside of the medical marijuana consumer cooperative in character size at least two inches in height.
- OPERATING HOURS
10. The medical marijuana consumer cooperative shall operate only between the hours of 7:00 a.m. and 9:00 p.m. seven days a week.
- VENDING MACHINES
11. The use of vending machines which allow access to medical marijuana except by a responsible person, as defined in San Diego Municipal Code Section 42.1502 is prohibited.
12. For the purpose of this section, a vending machine is any device that allows access to medical marijuana without a human intermediary.
- CONDITIONS FOR MMCC CUP
13. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Sign colors and typefaces are limited to two. Any ground signs shall not be pole signs. A sign is required to be posted on the outside of the medical marijuana consumer cooperative and shall only contain the name of the business.
14. The uses on the premises shall be limited to the Medical Marijuana Consumer Cooperative and any use permitted in the IL-3-1 Zone.
15. Consultations by medical professionals shall not be a permitted accessory use at the medical marijuana consumer cooperative.
16. Lighting shall be provided to illuminate the interior of the medical marijuana consumer cooperative, facade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
17. The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside of the medical marijuana consumer cooperative in character size at least two inches in height.
18. The utilization of this CUP is contingent upon the approval of a permit obtained as required and pursuant to Chapter 4, Article 2, Division 15. The issuance of this Permit does not guarantee that a permit will be granted in accordance with Chapter 4, Article 2, Division 15.
19. The use of vending machines which allow access to medical marijuana except by a responsible person, as defined in San Diego Municipal Code Section 42.1502 is prohibited. For the purpose of this section, a vending machine is any device that allows access to medical marijuana without a human intermediary.
20. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on _____, which is five years from the date of issuance of this Permit. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
21. The project will incorporate necessary measures in order to achieve LEED "Certified" Level Certification, at a minimum, utilizing the United States Green Building Council LEED for Commercial Interiors, Retail rating system. Achieving LEED Certification will support the goals of this cooperative to create an environment which enhances and supports the health of its patrons and staff, to reduce power and water use and to build and operate utilizing materials and methods which are sensitive to the environment at large.
22. The owner or operator shall maintain the premises, adjacent public sidewalks, and areas under the control of the owner or operator, free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris. The owner or operator shall eliminate graffiti within 48 hours of application.

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APPROVAL NO(S). CUP 1294130

APPROVED BY: HEARING OFFICER, PLANNING COMMISSION. CITY COUNCIL ON 7-9-15

SIGNATURE [Signature]

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MARK	DATE	DESCRIPTION
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PROJECT NO: 1407

CAD DWG FILE: 0001 COVER SHEET DWG

DRAWN BY: A.S., J.C.

CHK'D BY: A.S., M.M.

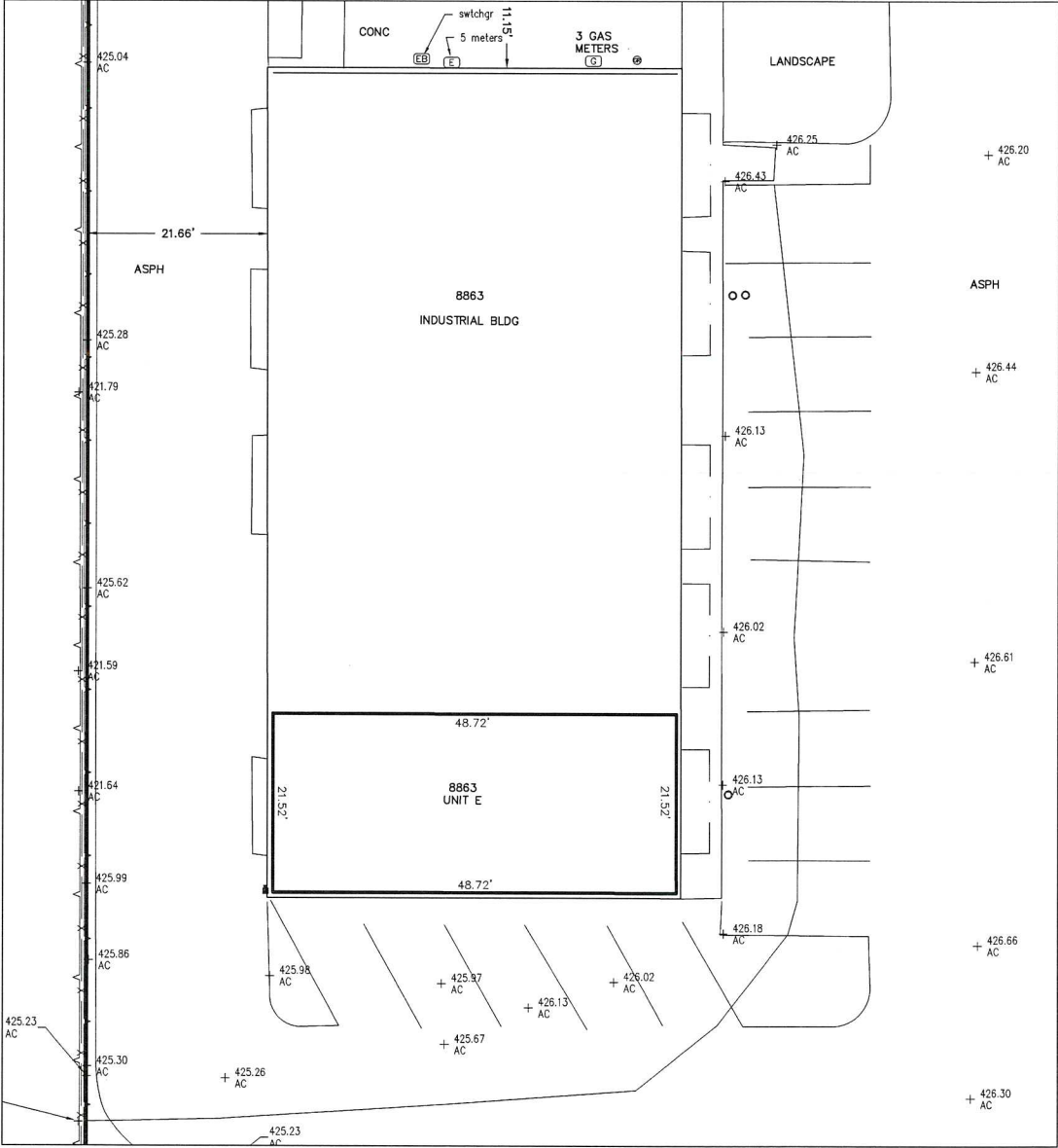
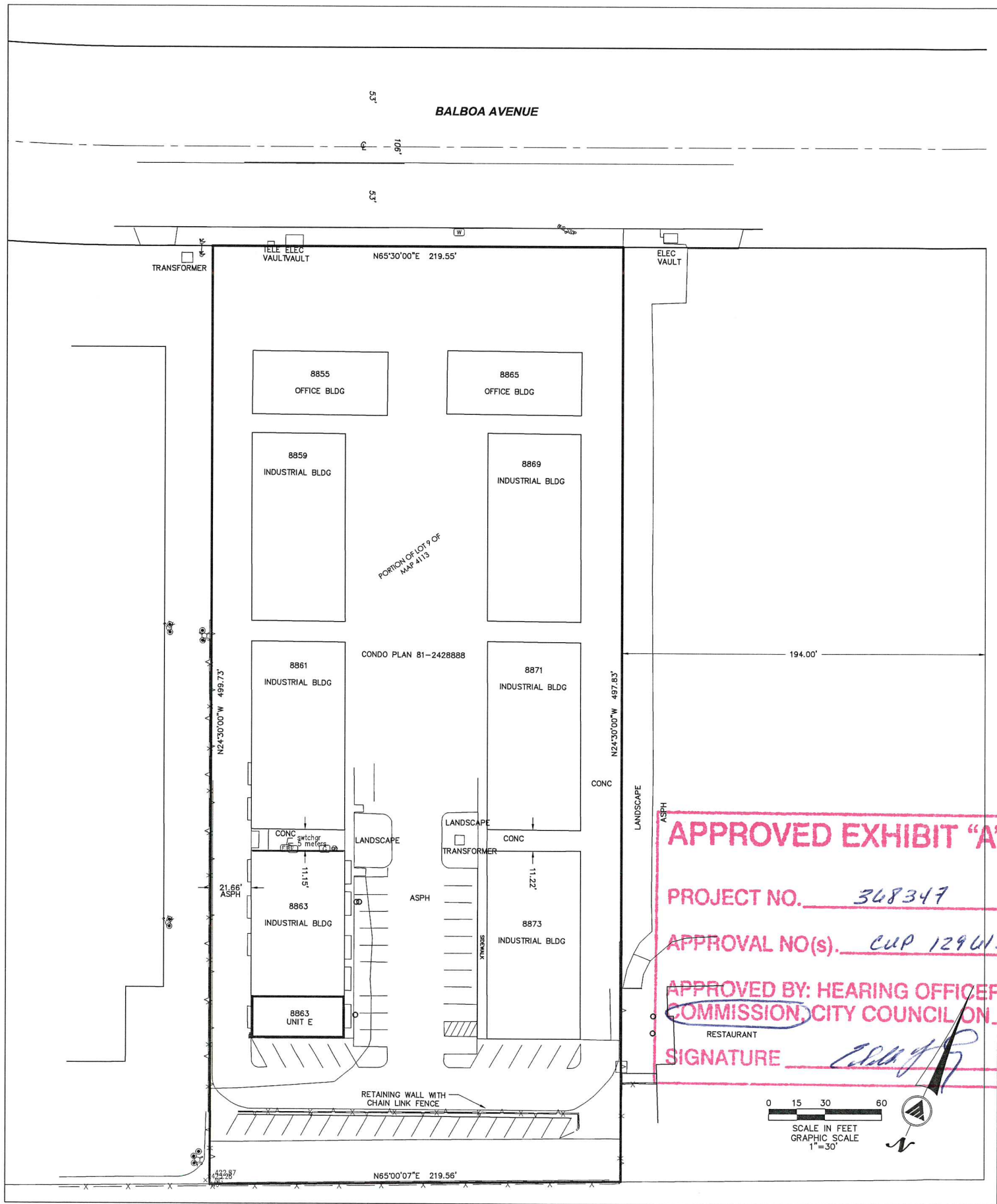
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SHEET TITLE

MMCC NOTES

G002

SHEET 2 OF 15



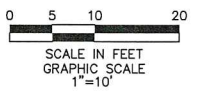
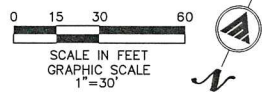
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LEGEND:	
	Backflow Assembly
	Bollard
	Electric Box
	Electric Cab
	Electric Manhole
	Electric Meter
	Existing Hydrant
	Fire Dept Connection
	Gas Meter
	Gas Riser
	Roof Drain
	Sewer Clean out
	SIGN Bus Stop
	Water Meter
	Water PIV
	Water Valve

LEGAL DESCRIPTION:
UNIT NO 8863E PER CONDOMINIUM PLAN RECORDED JULY 31, 1981
AS FILE/PAGE NO. 81-242888, O.R.

BASIS OF ELEVATIONS:
CITY OF SAN DIEGO BENCHMARK # 2621 BRASS PIN AT 8804
BALBOA AVENUE EL= 422.992', DATUM = MSL

BASIS OF BEARINGS:
EAST LINE OF CONDOMINIUM PLAN RECORDED JULY 31, 1981
AS FILE/PAGE NO. 81-242888, O.R. I.E. N24°30'00"W

DATE: Apr 21, 14 10:49pm by: jgavals
FILES: (14) 14076/PROD/14076/OPD.dwg

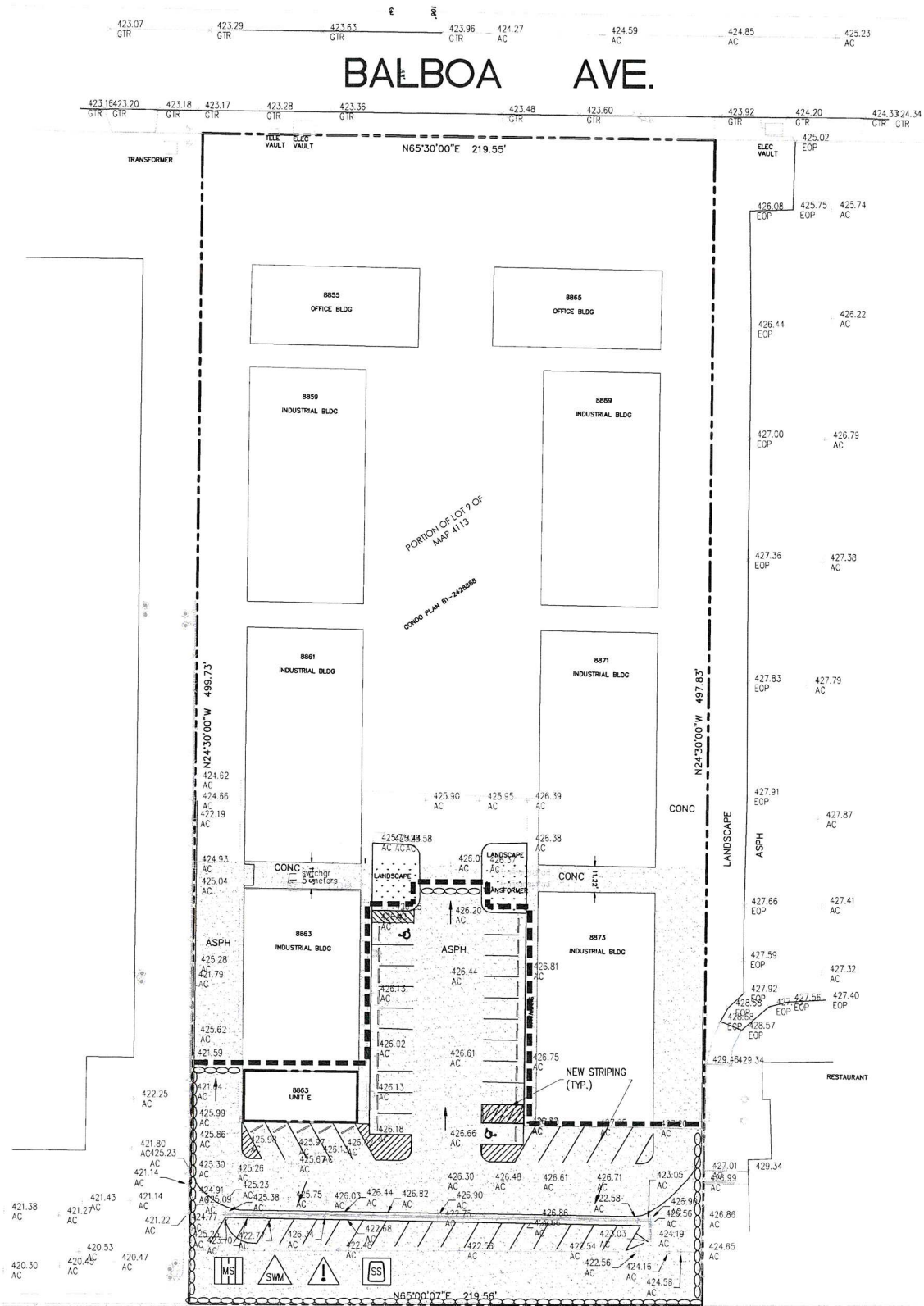
Planning • Engineering • Surveying • Telecom

200 East Washington Ave., Suite 200
Escondido, CA 92025
P. 760.741.3570
F. 760.741.1786

25185 Madison Avenue
Suite A
Murietta, CA 92562
www.masson-assoc.com

MASSON
& ASSOCIATES, INC.

C-1



LEGEND

- CONST. SITE PERIMETER
- - - PROPERTY BOUNDARY
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- AREA OF EXISTING HARDSCAPE
- SITE DRAINAGE PATTERN

BEST MANAGEMENT PROTECTION

DESCRIPTION	QUANTITY	SYMBOL
SE-6 GRAVEL BAG BARRIER (SEE DETAIL HEREON)	0 EA.	
WM-1 MATERIAL DELIVERY STORAGE	1 EA.	
WM-2 MATERIAL USE	1 EA.	IN BUILDING AND PARKING AREA
WM-4 SPILL PREVENTION AND CONTROL	1 EA.	IN BUILDING AND PARKING AREA
WM-5 SOLID WASTE MANAGEMENT	1 EA.	
WM-6 HAZARDOUS WASTE MANAGEMENT	1 EA.	
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT	1 EA.	
SC-7 STREET SWEEPING OR VACUUMING	N/A	PARKING AREA

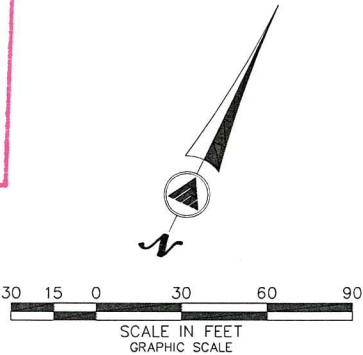
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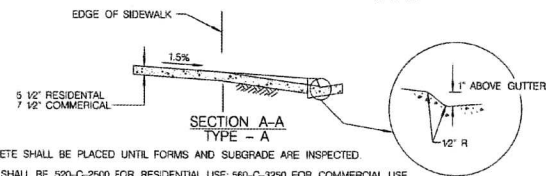


SW-1



Planning & Engineering & Surveying
200 E. Washington Ave., Suite 200
Escondido, CA 92025
O. 760.741.3570
F. 760.741.1786
www.mason-assoc.com

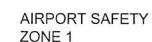
BALBOA AVE.
MINOR WPCP - PLAN

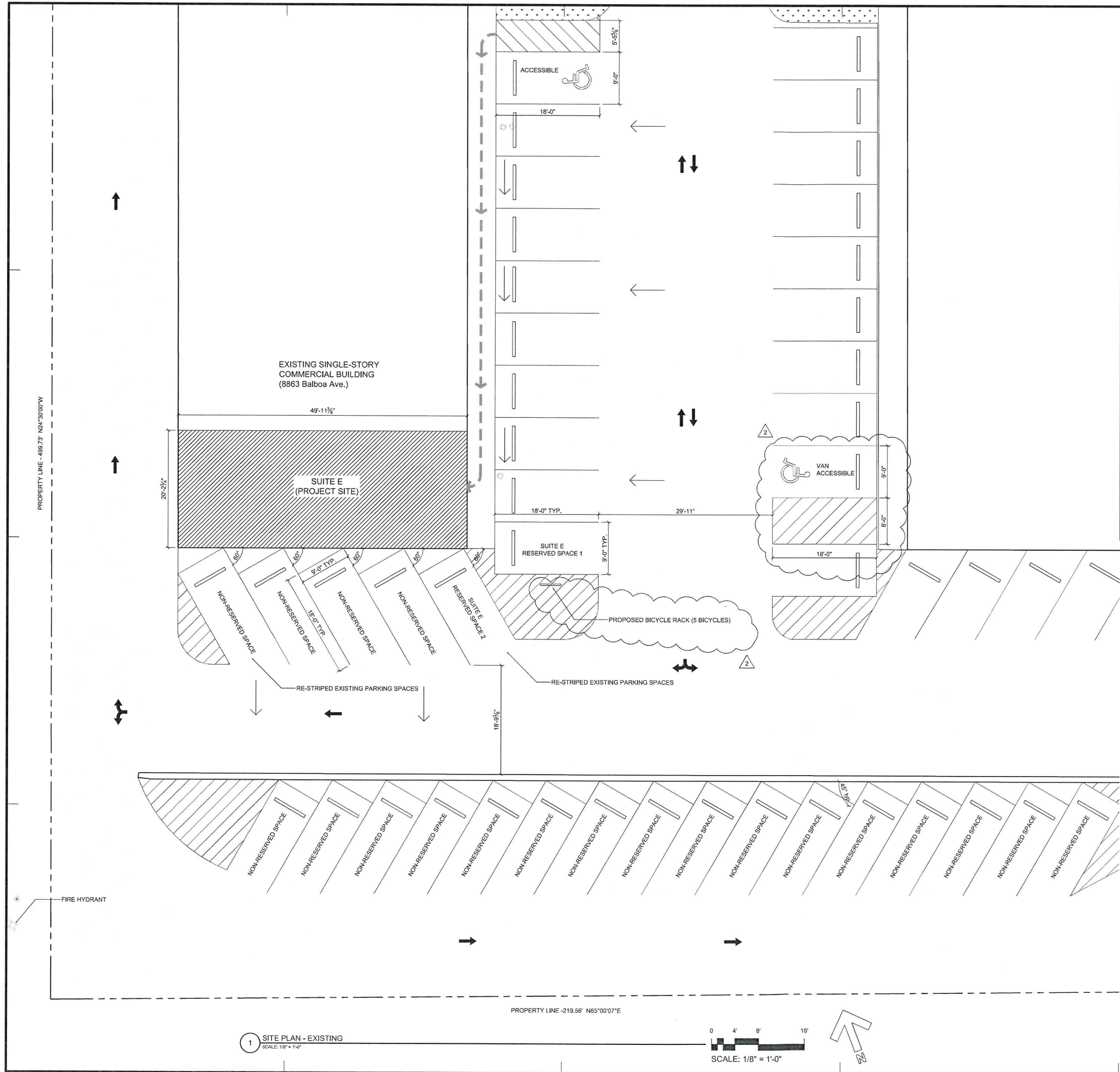


- SHEET 1 OF 1

Legal Description:
Lot: 9 Map Ref: 004113 Abbreviated
Description: LOT:9 CITY:SAN DIEGO
SUBD:INDUSTRIAL PARK UNIT #2
004113 LOT 9*/EXC NELY 413.55
FT/* City/Muni/Twp: SAN DIEGO

1 SITE PLAN - EXISTING
SCALE: 1/32" = 1'-0"

[illegible]



SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- AREA OF EASEMENT
- AREA OF EXISTING HARDSCAPE
- SITE DRAINAGE PATTERN
- ACCESSIBLE ROUTE WITHIN PROJECT BOUNDARY

SITE PLAN NOTES

- The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect's office.
- Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- Coordinate with other tenants the temporary shutoff of any site utilities.
- Refer to Topographic Survey for additional information.

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MARK DATE DESCRIPTION

4/25/2015 2:23:51 PM

PROJECT NO: 1407

CAD DWG FILE: A101A SITE PLAN - EXISTING.DWG

DRAWN BY: A.S., J.C.

CHK'D BY: A.S., M.M.

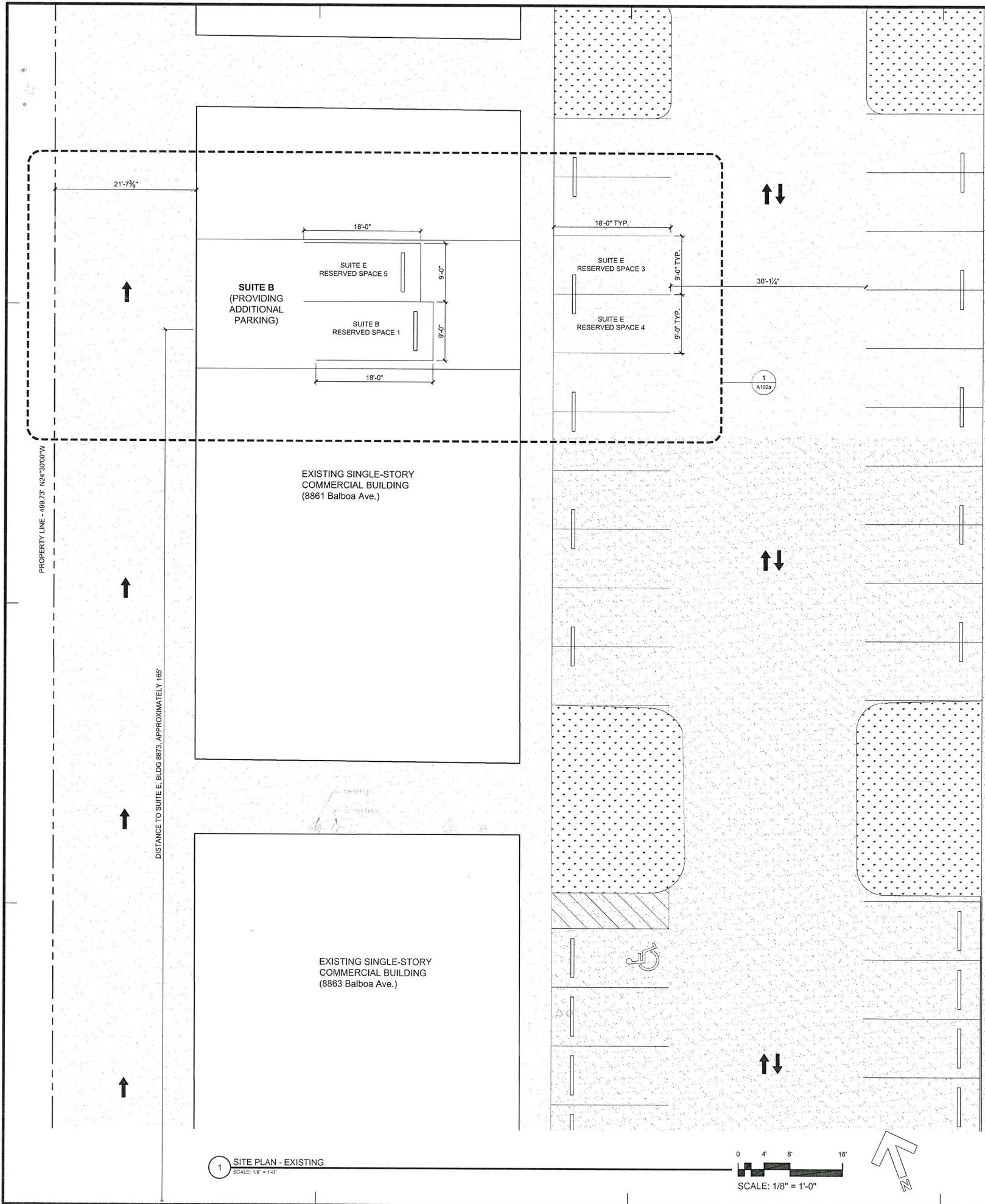
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SHEET TITLE

SITE PLAN -
EXISTING

A101a

SHEET 6 OF 15



SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
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 - E. Coordinate with other tenants the temporary shutoff of any site utilities.
 - F. Refer to Topographic Survey for additional information.

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3956 31st Street, San Diego, CA 92104
technne-us.com sustainablearchitect.org
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San Diego, CA 92123

OWNER
United Patients Consumer Cooperative
5666 La Jolla Blvd. #115
San Diego, CA 92037

APPROVED EXHIBIT "A"

PROJECT NO. 368347

APPROVAL NO(s). CUP 1294130

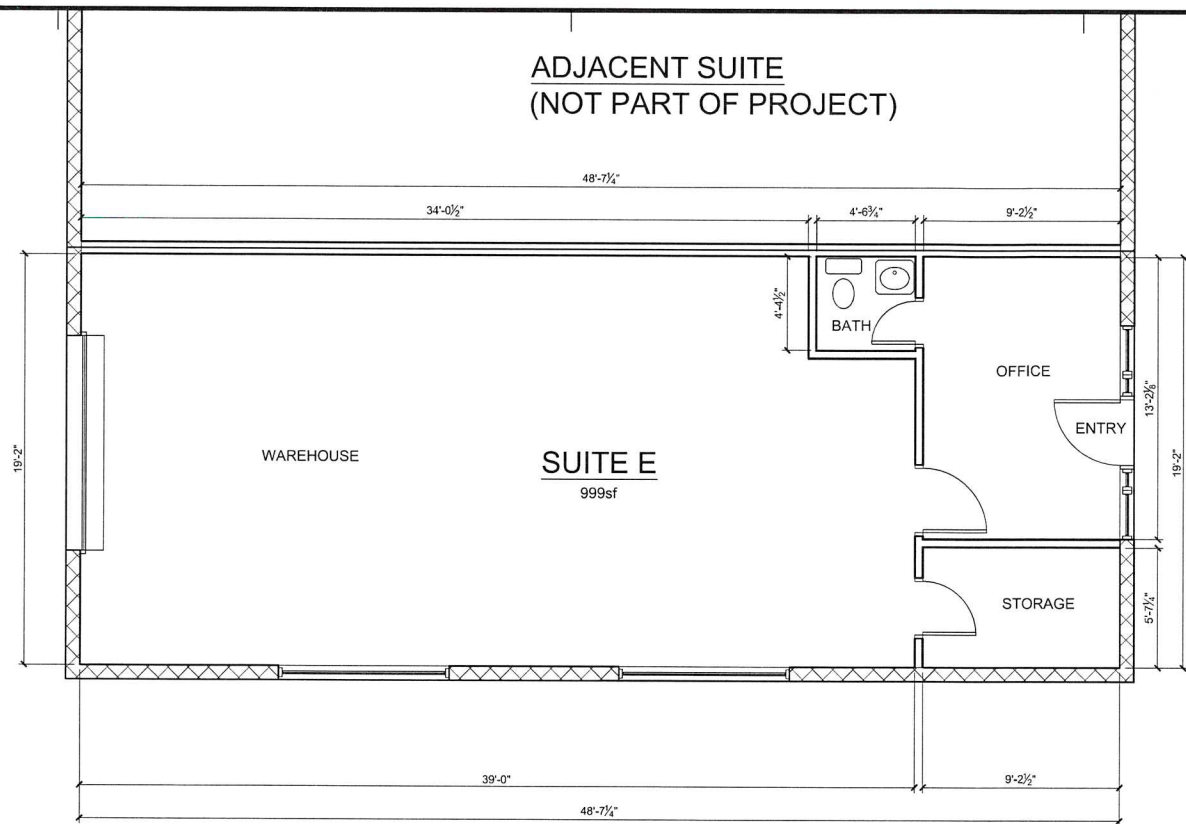
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SIGNATURE [Signature]

1 SITE PLAN - EXISTING
SCALE: 1/8" = 1'-0"



01	05.13.14	CUP - 1st Submittal
02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal
MARK DATE DESCRIPTION		
PROJECT NO: 1407		
CAD DWG FILE: A101a SITE PLAN - EXISTING DWG		
DRAWN BY: A.S., J.C.		
CHK'D BY: A.S., M.M.		
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SHEET TITLE		
SITE PLAN - EXISTING		
A101b		
SHEET	7	OF 15



1 FIRST FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



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03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK	DATE	DESCRIPTION
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PROJECT NO: 1407

CAD DWG FILE: A102 FIRST FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S., J.C.

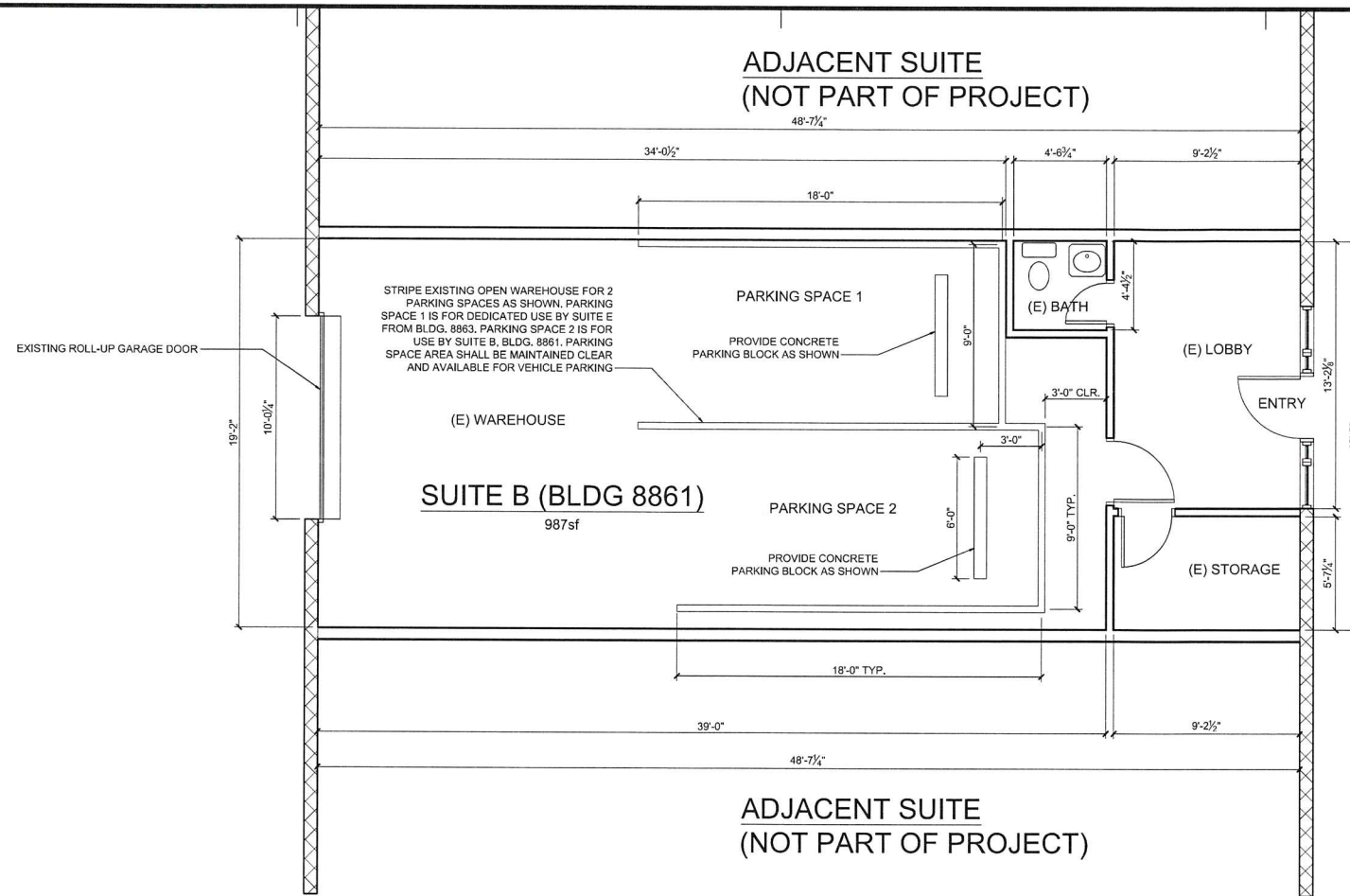
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SHEET TITLE

FIRST FLOOR PLAN -
EXISTING

8 A102
SHEET OF 15



1 FIRST FLOOR PLAN - EXISTING (SUITE B, BUILDING 8861)
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



APPROVED EXHIBIT "A"

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NOTE:
 • SUITE B IN BUILDING 8861 IS NOT PART OF THE PROPOSED MMCC FACILITY.
 • SUITE B IN BUILDING 8861 IS PROVIDING 3 ADDITIONAL PARKING SPACES TO SUITE E IN BUILDING 8863 WHERE PROPOSED MMCC WILL BE LOCATED.

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03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK DATE DESCRIPTION

10/20/2014 3:07:07 PM

PROJECT NO: 1407

CAD DWG FILE: A102 FIRST FLOOR PLAN - EXISTING - 8861.DWG

DRAWN BY: A.S., J.C.

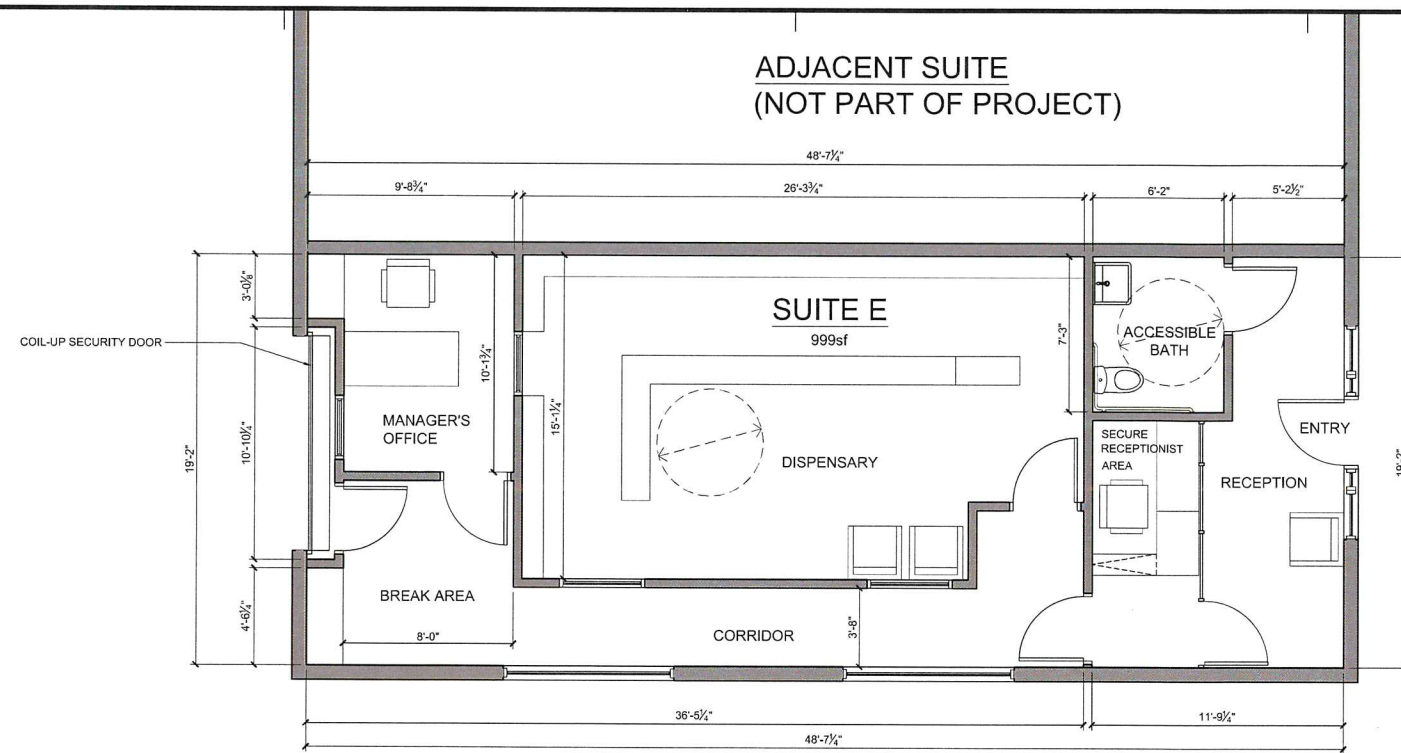
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SHEET TITLE

FIRST FLOOR PLAN - EXISTING

9 A102a
 SHEET 8 OF 15



1 FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



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APPROVAL NO(s). CUP 1296130

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FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNÉ if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNÉ. Do not proceed with work until written or verbal instructions are issued by TECHNÉ.
- INSULATION: R-13 Batt Insulation at all Exterior 2 X 4 Walls.
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at 2 X 10 Ceiling, Raised Floor & Roof Areas.
R-4.5 Insulation Wrap on all New Hot Water Piping.
R-4.5 Insulation Wrap on all New Supply Ducts.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

- EXISTING SEPARATION WALL
- EXISTING WALL: 8" CMU - reinforced, 1 hour fire rated.
- PROPOSED INTERIOR PARTITION WALL: 5/8" metal stud @ 24" O.C. with 1 layer of 5/8" gypsum board on each side.
- WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
- 3/2" U.N.O.
- DOOR AND SYMBOL: See door schedule for complete information
- WINDOW AND SYMBOL: See window schedule for complete information
- STOREFRONT OR FIELD GLAZED OPENING AND SYMBOL: See door and window type sheets for complete information.

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02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK DATE DESCRIPTION
4/15/2015 2:39:09 PM

PROJECT NO: 1407

CAD DWG FILE: A103 FIRST FLOOR PLAN - PROPOSED.DWG

DRAWN BY: A.S., J.C.

CHK'D BY: A.S., M.M.

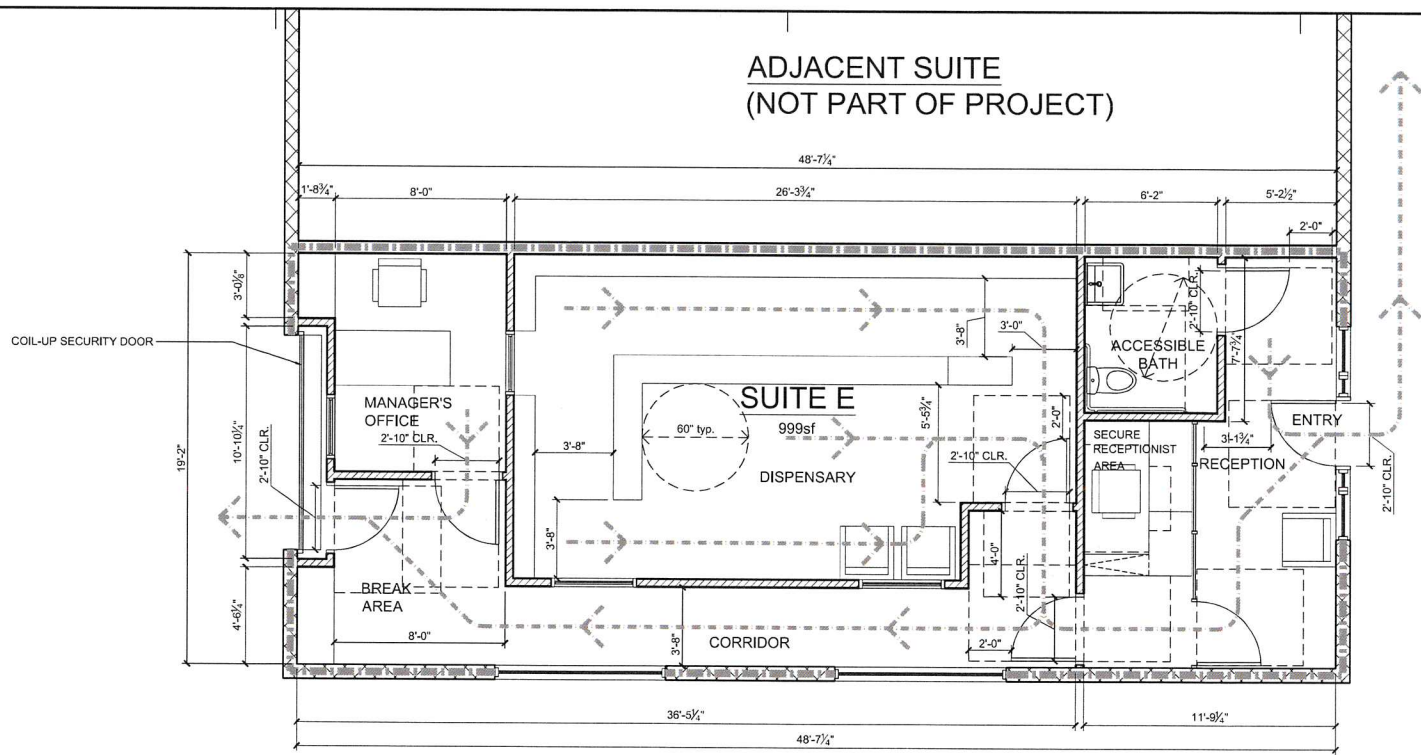
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SHEET TITLE

FIRST FLOOR PLAN -
PROPOSED

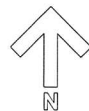
A103

SHEET 10 OF 15



1 FIRST FLOOR EGRESS PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



APPROVED EXHIBIT "A"

PROJECT NO. 368347

APPROVAL NO(s). CUP 1294130

APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 7-9-15

SIGNATURE [Signature]

EGRESS NOTES

- ACCESSIBLE PATH OF TRAVEL - Accessible path of travel as indicated is barrier free access without abrupt vertical changes exceeding 1/4" inches and 1:2 maximum slope except at door thresholds and level changes do not exceed 1/4" vertical distance. Maximum drop slope of 2% typical.
- - - MEANS OF EGRESS - A continuous and unobstructed path of vertical and horizontal egress travel from any occupied portion of a building or structure to a public way. A means of egress consists of three separate and distinct parts: the exit access, the exit and the exit discharge. (CBC1002.1)
- 00 DESIGN OCCUPANT LOAD - The number of occupants whom means egress facilities shall be provided. Where occupants from accessory area egress through a primary space, the calculated occupant load for the primary space shall include the total occupant load of the primary space plus the number of occupants egressing through it from the accessory area.
- MINIMUM EGRESS WIDTH - The total width of means of egress in inches (mm) shall not be less than the total occupant load served by the means of egress multiplied by 0.3 inches (7.62 mm) per occupant for stairways and by 0.2 inches (5.08 mm) per occupant for other egress components. Multiple means of egress shall be sized such that the loss of any one means of egress shall not reduce the available capacity to less than 50 percent of the required capacity. The maximum capacity required from any story of a building shall be maintained to the termination of the means of egress. (CBC 1005.1)
- DOOR ENCROACHMENT - Doors, when fully opened, and handrails shall not reduce the required means of egress width by more than 7 inches (178 mm). Doors in any position shall not reduce the required width by more than one-half. Other nonstructural projections such as trim and similar decorative features shall be permitted to project into the required width a maximum of 11/2 inches (38 mm) on each side. (CBC 1005.2)
- EGRESS ILLUMINATION - The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. (CBC 1005.3)
- ILLUMINATION EMERGENCY POWER - The power supply for means of egress illumination shall normally be provided by the premises' electrical supply.
- In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas:
1. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
 2. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
 3. Exterior egress components at other than their levels of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
 4. Interior exit discharge elements, as permitted in Section 1027.1, in buildings required to have two or more exits.
 5. Exterior landings as required by Section 1008.1.6 for exit discharge doorways in buildings required to have two or more exits.
- The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Chapter 27. (CBC 1006.3)
- Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent - section 1004.3

ACCESSIBILITY NOTES

1. All entrances and all exterior ground-floor exit doors to buildings and facilities shall be made accessible to persons with disabilities. (Sec. 11338.1.1.1.1)
2. Latching and locking hand activated doors in a path of travel shall be operable with a single effort by lever type hardware, panic bars, push pull activating bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction. (Sec. 11338.2.5.2)
3. Hand activated door opening hardware shall be centered between 30 inches (762 mm) and 44 inches (1118 mm) above the floor. (Sec. 11338.2.5.2)
4. The width and height of doorways shall comply with section 1008. Every required exit doorway shall permit the installation of a door not less than 3 feet (914 mm) wide and not less than 6 feet 8 inches (2032 mm) high. Exit doors shall be capable of opening at least 90 degrees and provide not less than 32 inches clear width (813mm). (Sec. 11338.2.2 and Figure 11B 33)
5. For hinged doors, the opening width shall be measured with the door positioned at an angle of 90 degrees from its closed position. (Sec. 1133.2.3 and Fig. 11B 33)
6. Minimum maneuvering clearances at doors shall be as shown in Figures 11B-26A and 11B-26B. The floor or ground area within the required clearances shall be level and clear. (Sec.11338.2.4.2)
7. There shall be a level and clear floor or landing on each side of a door. The level area shall have a length in the direction of door swing of at least 60 inches (1524 mm) and the length opposite the direction of door swing of 48 inches (1219 mm) as measured at right angle to the plane of the door in its closed position. (Sec. 11338.2.4.2 and Fig. 11B 26A and 11B 26B)
8. The width of the level area on the side to which the door swings shall extend 24 inches (610 mm) minimum past the strike edge of the door for exterior doors and 18 inches (457 mm) minimum past the strike edge for interior doors. This also applies to obstructions and recesses. An additional 12 inches is required at the push side if a frontal approach, if door is equipped with both latch and closer. (Sections 11338.2.4.3, 11338.2.4.5, 11338.2.5.3, Figures 11B 26A and B, and 11B-33(a))
9. The floor or landing shall be not more than 1/2 inch (12.7 mm) lower than the threshold of the doorway. Change in level between 3/4 inch (6 mm) and 275 inch (12.7 mm) shall be beveled with a slope no greater than one unit vertical to 2 unit horizontal (50- percent slope) (Sec. 11338.2.4.1 and Figures 11B 32)
10. The bottom 10 inches (254 mm) of all doors except automatic and sliding shall have a smooth, uninterrupted surface to allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition. Where narrow frame doors are used, a 10 inch (254 mm) high smooth panel shall be installed on the push side. (Sec 1133 .2.6 and Fig 11B 29)
11. Maximum effort to operate doors shall not exceed 5 pounds (22 N) for exterior and interior doors, applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized. The maximum effort to operate fire doors may be increased up to 15 pounds (66.72N) if allowed by the appropriate administrative authority. (Sec. 11338.2.5)
12. Specific work stations need only comply with the required aisle width (Sections 11338.6.1 and 11338.6.2 and floors and levels (Section 11208). (Sec. 11238.2)
13. Entry ways to specific work stations shall be 32 inches clear width. (Sec. 11238.2)
14. PROVIDE PANIC HARDWARE AT ALL EXIT DOORS.
15. Gates used as a component in a means of egress shall conform to the applicable requirements for doors. (Sec. 1008.2)
16. Exterior Exit doors shall have a sign posted above stating: DOOR TO REMAIN UNLOCKED DURING REGULAR BUSINESS HOURS.

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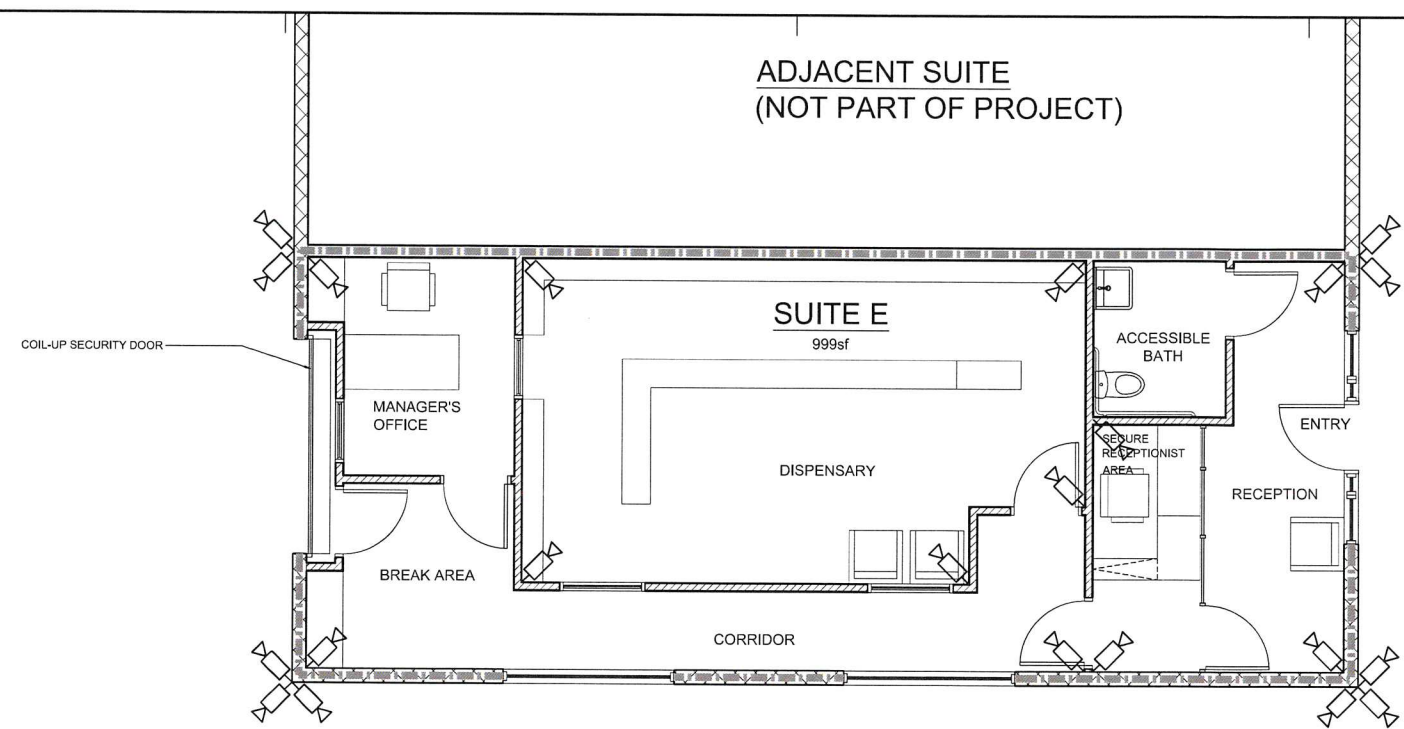
CONSULTANTS

LICENSED ARCHITECT
MICHAEL RENE MORTON
C-19371
REV. 04/30/2015
STATE OF CALIFORNIA

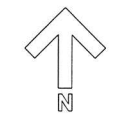
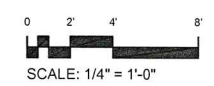
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01	06.13.14	CUP - 1st Submittal
02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal
MARK	DATE	DESCRIPTION
4/15/2015 2:30:32 PM		
PROJECT NO: 1407		
CAD DWG FILE: A104 FIRST FLOOR EXITING PLAN - PROPOSED DWG		
DRAWN BY: A.S., J.C.		
CHK'D BY: A.S., M.M.		
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SHEET TITLE		
FIRST FLOOR EGRESS PLAN - PROPOSED		
A104		
SHEET	11	OF 15



1 SECURITY DIAGRAM
SCALE: 1/4" = 1'-0"



APPROVED EXHIBIT "A"

PROJECT NO. 348347

APPROVAL NO(s). CUP 1296130

APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 7-9-15

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SECURITY PLAN LEGEND

- SECURITY CAMERA
- 12 - INTERIOR SECURITY CAMERAS
- 10 - EXTERIOR SECURITY CAMERAS

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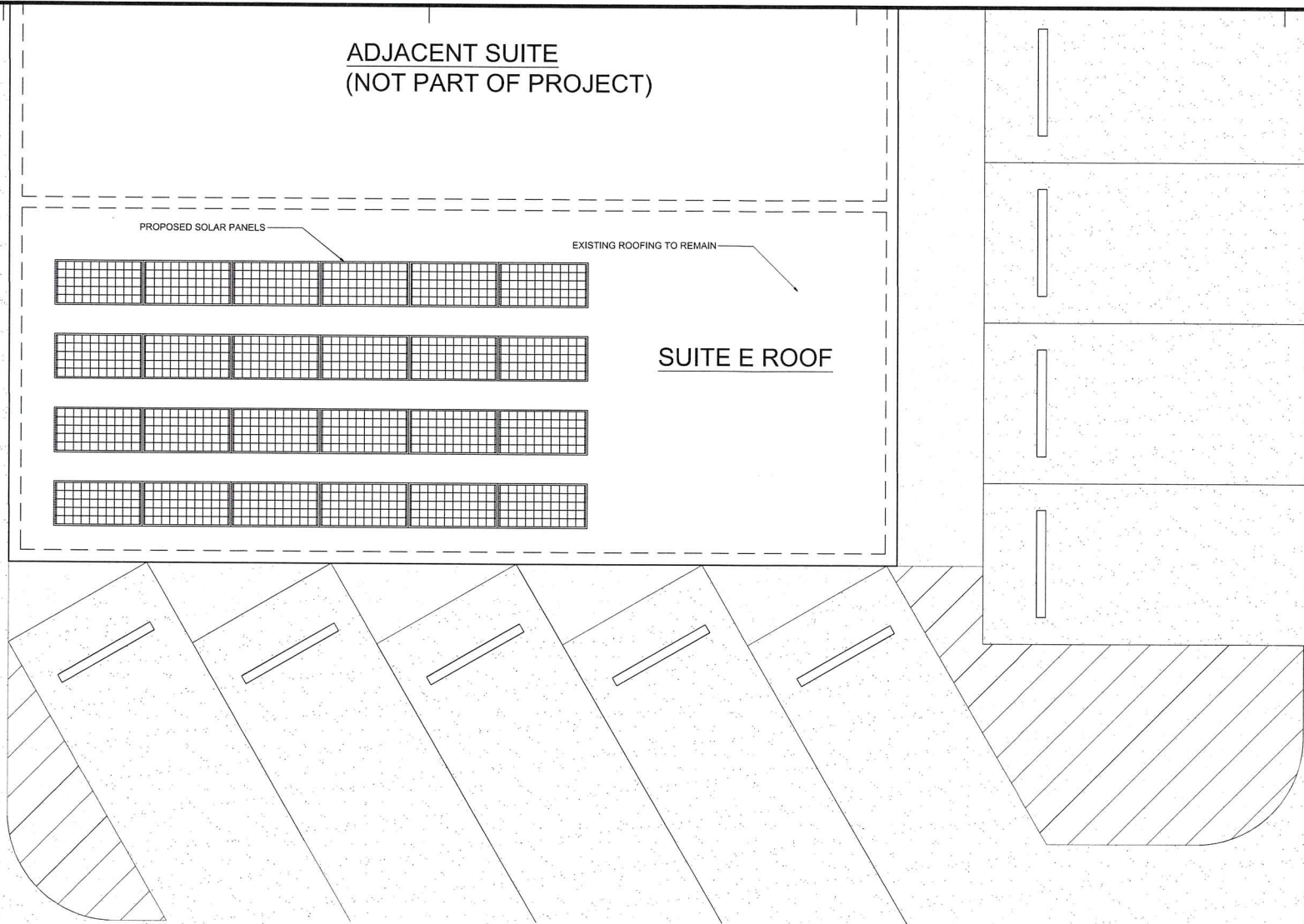
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PROJECT NO: 1407		
CAD DWG FILE: A105 FIRST FLOOR SECURITY PLAN - PROPOSED DWG		
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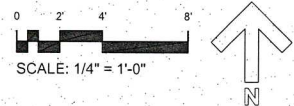
SECURITY DIAGRAM

12 OF 13

A105



1 ROOF PLAN - EXISTING / PROPOSED
SCALE: 1/4" = 1'-0"



APPROVED EXHIBIT "A"

PROJECT NO. 368347

APPROVAL NO(s). CUP 1294130

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SIGNATURE [Signature]

ROOF PLAN LEGEND

	ROOF SLOPE INDICATOR
	OUTLINE OF WALLS BELOW
	PLUMBING VENT OR MISC. VENT
	PROPOSED SOLAR PANEL Electricity generated by solar panels shall account for at least 30% of the energy consumption of the project.

DESIGN | DEVELOPMENT

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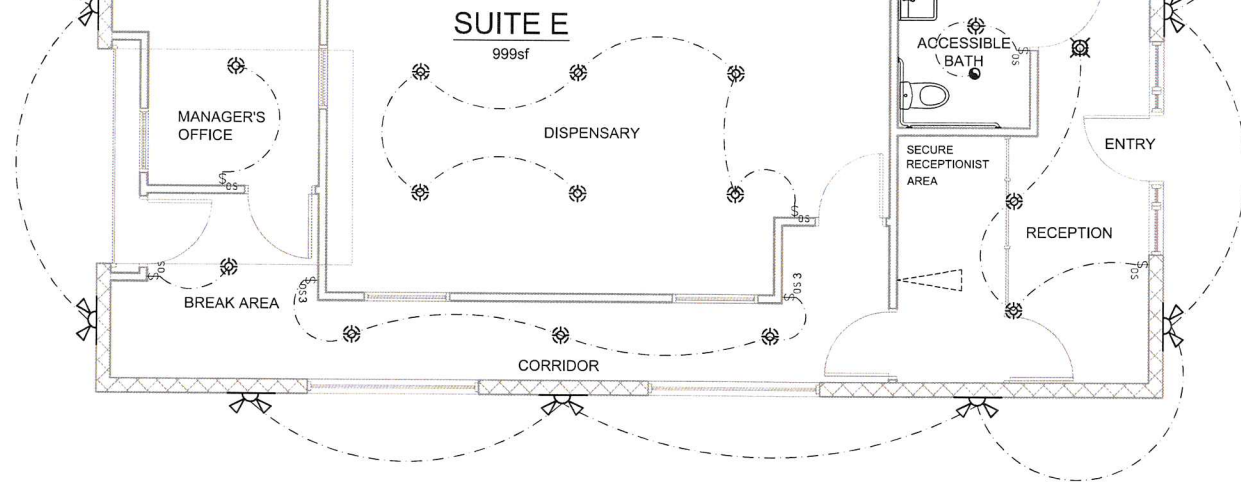
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03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK	DATE	DESCRIPTION
PROJECT NO: 1407		
CAD DWG FILE: A106 ROOF PLAN - EXISTING PROPOSED DWG		
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CHK'D BY: A.S., M.M.		
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SHEET TITLE		
ROOF PLAN - EXISTING / PROPOSED		
A106		
SHEET	13	OF 15

CONNECT TO DAYLIGHT
SENSORS

ADJACENT SUITE
(NOT PART OF PROJECT)

CONNECT TO DAYLIGHT
SENSORS



APPROVED EXHIBIT "A"

PROJECT NO. 308347

APPROVAL NO(s). CUP 1296130

APPROVED BY: HEARING OFFICER, PLANNING
COMMISSION, CITY COUNCIL ON 7-9-15

SIGNATURE [Signature]

1 FIRST FLOOR LIGHTING PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



LIGHTING PLAN NOTES

- The locations of switches, outlets and light fixtures shown on electrical plans are approximate. Do not run wire until all boxes are in place and the owner or TECHNE has been called to make visual review of all locations.
- Verify all electrical requirements for new work and provide service as necessary. All new electrical wiring and installation shall comply with the latest adopted edition of the N.E.C., state and local requirements.
- Rocker switches, dimmers, and other lighting controls shall be Leviton "Decora". Receptacles, wall plates and other related receptacles such as telephone jacks, GFCI receptacles and cable outlets shall be Leviton "Decora". Color of all items shall be "White" unless otherwise noted.
- Living Rooms, Family Rooms, Bedrooms, Dens, Home Offices, and Hallways, shall have manual on occupancy sensors or dimmer switches to all lighting fixtures or fluorescent lighting fixtures. Leviton "Decora" Manual - On Occupancy Sensor - IPP10-1L or equal.
- Bathrooms, Utility Rooms, Laundry rooms and Garages shall have occupancy sensors or fluorescent lighting fixtures. Leviton "Decora" Manual - On Occupancy Sensor - IPP10-1L or equal.
- Kitchens shall have 50% for more of the wattage used for lighting be from high efficacy light fixtures. Incandescent lighting shall be switched separately and/or have dimmer switches.
- Exterior light fixtures attached to building shall be fluorescent light fixtures or incandescent lighting equipped with photo/motion sensor.
- All electric switches unless noted on the plan are to be located 42 inches above the finish floor. All outlet receptacles shall be 15 inches above finish floor, unless noted otherwise. Verify locations for horizontally mounted outlets (marked "Horizontal" on plans). Multiple switches shall be ganged together, unless noted otherwise.
- Mounting heights for light fixtures shown on plans are from finish floor or finished ceiling to the centerline of junction box, unless noted otherwise. Also, refer to exterior and interior elevations for additional information regarding fixture-mounting heights.
- Convenience outlets in bathrooms, kitchens, wet bar/sink, laundry rooms, outdoors, basements and garages shall be Ground Fault Circuit Interrupter (GFCI) type outlets. (NEC 210-8)
- Convenience outlets in bedrooms shall be protected with Arc Fault Circuit Interrupters (AFCI) type outlets. (NEC 210-12)
- Electrical outlet plate gaskets shall be installed on all receptacles, switches or other electrical boxes in exterior walls and any walls on perimeter of conditioned space.
- Verify electrical requirements for new appliances and mechanical equipment prior to running wire. See Appliance Schedule and floor plans for equipment.
- All electrical panels shall have permanent legible labels indicating circuit use, amperage, etc.
- Owner supplied fixtures shall be installed by contractor.
- Verify with owner number of telephone lines to be provided to residence. Pre-wire for cable TV and telephone per plans, verify size and shielding requirements for TV cable. Verify locations of telephone, cable and computer outlets with owner prior to installation.
- Verify with owner any electrical sub outs for future electrical.
- Verify with owner and coordinate installation requirements of sound system and speaker wire for sound system. (System and wiring are not in contract unless specified in bid.)
- SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Per CRC 2013 Sec. R314.
- INTERCONNECTION NOTE: Where more than one smoke alarm is required to be installed, the smoke alarm shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual dwelling unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- POWER SOURCE: In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection.
- EXISTING BUILDINGS: Smoke detectors shall be installed for all dwelling units intended for human occupancy, for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1000).
- General contractor to verify with the owner and coordinate any electrical requirements for the installation of security system and/or intercom system. (System and wiring not in contract unless specified in bid.)
- Junction boxes for ceiling fans shall be securely fastened to framing per fan manufacturer's instructions.
- Provide Carbon Monoxide Alarms per CRC 2013 Sec. R315.

LIGHTING PLAN LEGEND

Φ	DUPLEX OUTLET @ 18" A.F.F. U.N.O.	\$	SINGLE POLE SWITCH	Ⓢ	DOOR BELL CHIME
ΦWP	WATER PROOF DUPLEX OUTLET	\$3	3 WAY SWITCH	ⓈB	DOOR BELL BUTTON
Φ+42	DUPLEX OUTLET @ 42" A.F.F. U.N.O.	\$4	4 WAY SWITCH	•GD	GARBAGE DISPOSER AIR GAP SWITCH
ΦAFCI	OUTLET W/ ARC FAULT CIRCUIT INTERRUPTER	\$5	DIMMER SWITCH	---	ELECTRICAL CIRCUIT
ΦGFCI	OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER	\$OS	OCCUPANCY SENSOR SWITCH	Ⓢ	JUNCTION BOX (VOLTAGE AS NOTED)
Ⓢ	FOURPLEX OUTLET	DED	DEDICATED OUTLET CIRCUIT	ⓈS	OUTDOOR MOTION SENSOR
Ⓢ	CEILING MOUNTED LIGHT	+42	HEIGHT TO CENTERLINE A.F.F.	ⓈC	CAT6 OUTLET
Ⓢ	WALL MOUNTED LIGHT	Ⓢ	DIGITAL THERMOSTAT	Ⓢ	EXHAUST FAN (5 air changes per hour)
Ⓢ	PENDENT LIGHT	Ⓢ	TELEPHONE OUTLET	Ⓢ	WALL MOUNTED FLOOD LIGHT
Ⓢ	RECESSED CAN LIGHT	Ⓢ	T.V. CABLE OUTLET		
Ⓢ	1X4 FLUORESCENT LIGHT FIXTURE	ⓈD	SMOKE DETECTOR		
Ⓢ	WALL MOUNTED STEP LIGHT	ⓈM	CARBON MONOXIDE DETECTOR		

TECHNE

DESIGN | DEVELOPMENT

3956 3th Street, San Diego, CA 92104
technne-us.com sustainablearchitect.org
619-940-5814 313-595-5814

CONSULTANTS



8863 Balboa Ave., Suite E
San Diego, CA 92123

OWNER

United Patients Consumer Cooperative
5666 La Jolla Blvd. #115
San Diego, CA 92037

MARK	DATE	DESCRIPTION
01	05.13.14	CUP - 1st Submittal
02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK	DATE	DESCRIPTION
		PROJECT NO: 1407
		CAD DWG FILE: A107 LIGHTING PLAN.DWG
		DRAWN BY: A.S., J.C.
		CHK'D BY: A.S., M.M.

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SHEET TITLE
**FIRST FLOOR
LIGHTING PLAN -
PROPOSED**

A107

SHEET 14 OF 15

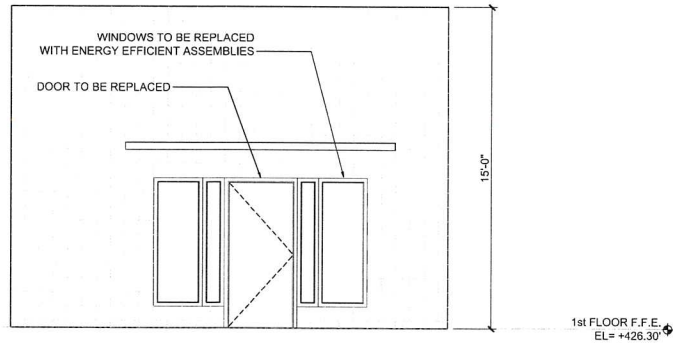
CONSULTANTS



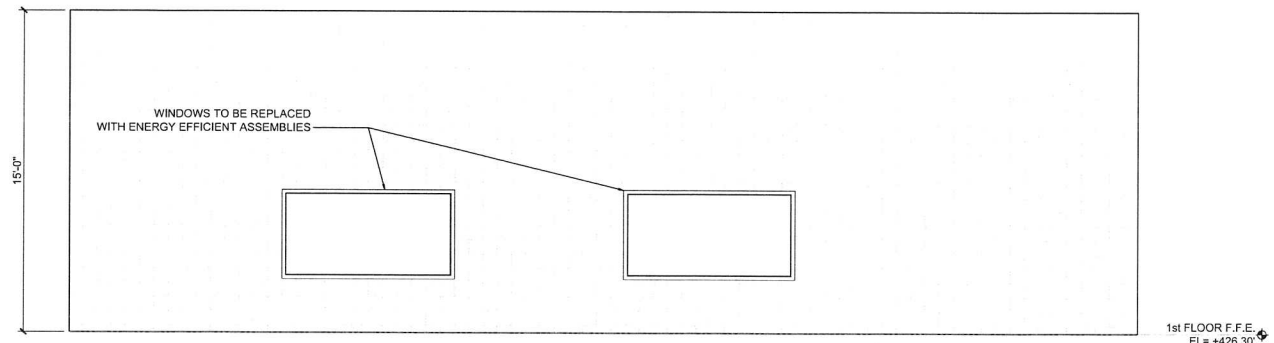
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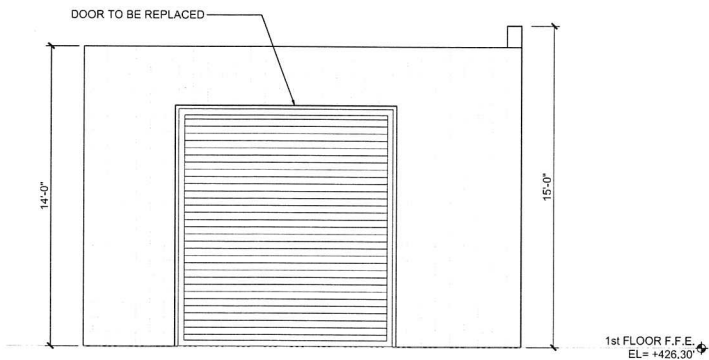
United Patients Consumer Cooperative
 5666 La Jolla Blvd. #115
 San Diego, CA 92037



1 EAST ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"

APPROVED EXHIBIT "A"

PROJECT NO. 368347

APPROVAL NO(s). CUP 1294130

APPROVED BY: HEARING OFFICER, PLANNING
COMMISSION, CITY COUNCIL ON 7-9-15

SIGNATURE [Signature]

01	05.13.14	CUP - 1st Submittal
02	07.07.14	CUP - Plan Check Corrections - 2nd Submittal
03	08.07.14	CUP - 3rd Submittal
04	10.16.14	CUP - 4th Submittal

MARK DATE DESCRIPTION

6/7/2014 3:03:35 PM

PROJECT NO: 1407

CAD DWG FILE: A201 ELEVATIONS.DWG

DRAWN BY: A.S., J.C.

CHK'D BY: A.S., M.M.

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SHEET TITLE

ELEVATIONS -
 EXISTING /
 PROPOSED

A201

SHEET 15 OF 15